



Cissbury Ring South, Woodside Park, N12 7BJ  
Guide Price £1,169,995 Freehold Council Tax Band F

**REAL ESTATES**  
Est. 1981

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**\* CHAIN FREE SALE \*** Real Estates are pleased to offer this large FIVE BEDROOM, THREE BATHROOM semi-detached family home set on a desirable residential street in Woodside Park.

**\* GUEST CLOAKROOM \* TWO RECEPTIONS \* KITCHEN/BREAKFAST ROOM \* THREE BEDROOMS & BATHROOM ON FIRST FLOOR \* PRINCIPAL BEDROOM & EN SUITE ON SECOND FLOOR \* GROUND FLOOR ANNEXE WITH BEDROOM & EN SUITE \* APPROX 60 FT REAR GARDEN \* OFF STREET PARKING \***

This well presented property is situated close to local shops and cafes on Sussex Ring, as well as the 221 & 326 bus routes plus Woodside Park Station on the Northern Line.

Catchment for Frith Manor Primary School. **SOLE AGENT**



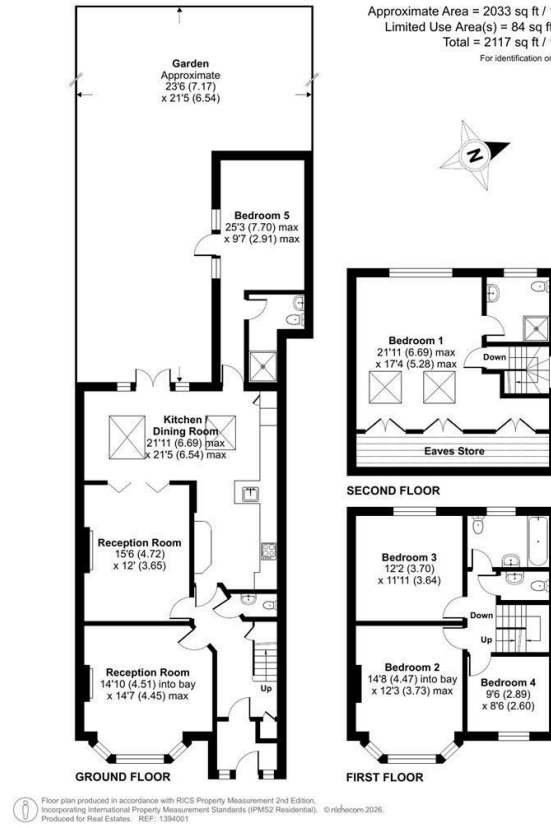






## Cissbury Ring South, London, N12

Approximate Area = 2033 sq ft / 188.9 sq m  
Limited Use Area(s) = 84 sq ft / 7.8 sq m  
Total = 2117 sq ft / 196.7 sq m  
For identification only - Not to scale



Energy Efficiency Rating		
Very energy efficient - lower running costs	Current	Potential
A (92-100)		
B (81-91)		
C (69-80)	76	81
D (55-68)		
E (39-54)		
F (21-38)		
G (1-20)		
Not energy efficient - higher running costs		
EU Directive		



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